



# Planning & Zoning

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Planning and Zoning

# CITY STRATEGIC PLAN

## Strategic Plan 2017-2022 Vision:

In 2022, Alexandria is a **historic**, inclusive city of kindness, with **distinct, vibrant and safe neighborhoods**, a well-managed government, flourishing arts, culture, and recreation, **a strong economy**, thriving children and youth, active and secure older adults, environmental sustainability, healthy residents of all ages, and **multimodal transportation**.

# NEIGHBORHOOD PLANNING

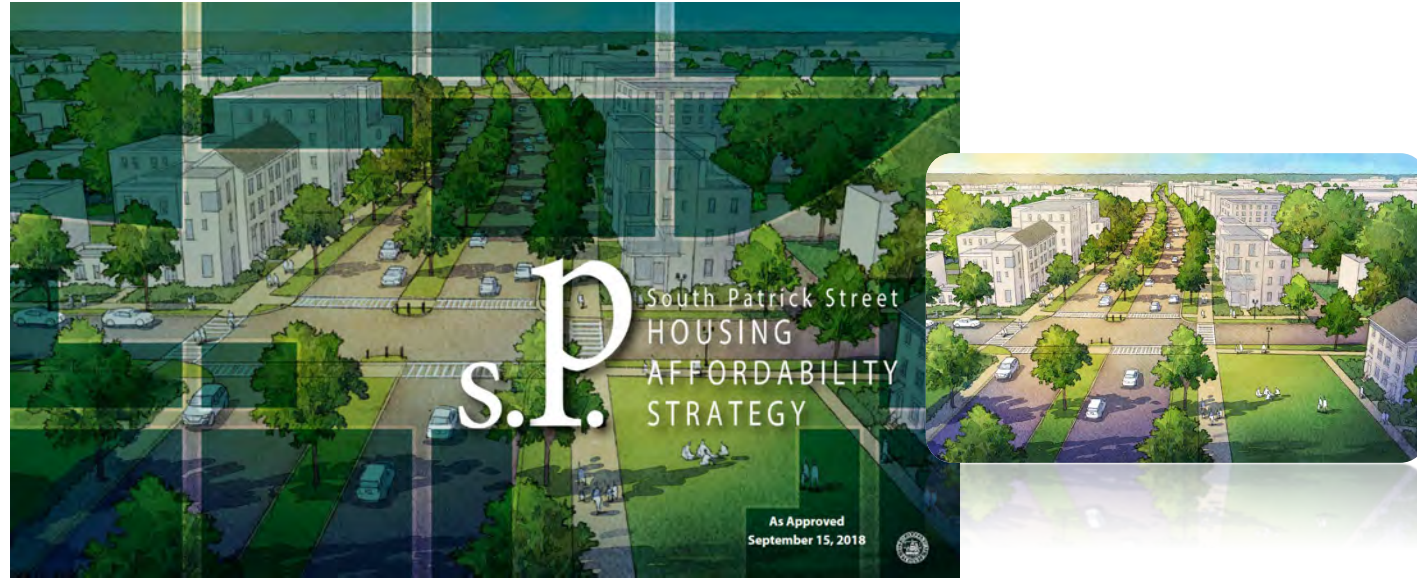


## City's Master Plan

Includes 18 Small Area Plans that cover neighborhoods throughout the City

 Overlay Plans

# Vibrant Places with Housing Choices for All Residents

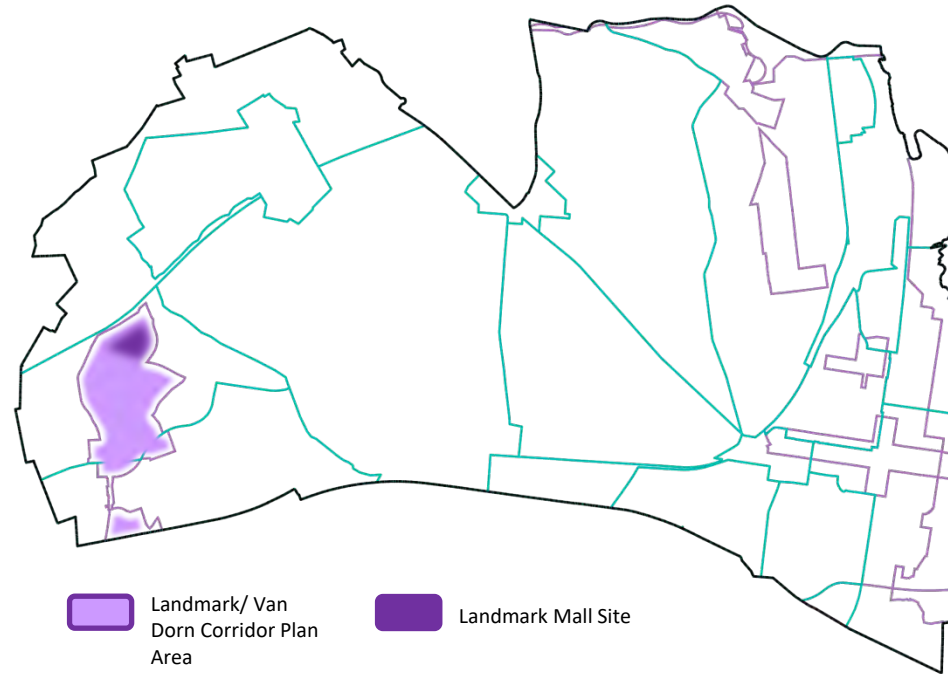


**South Patrick Street Housing Affordability Strategy**

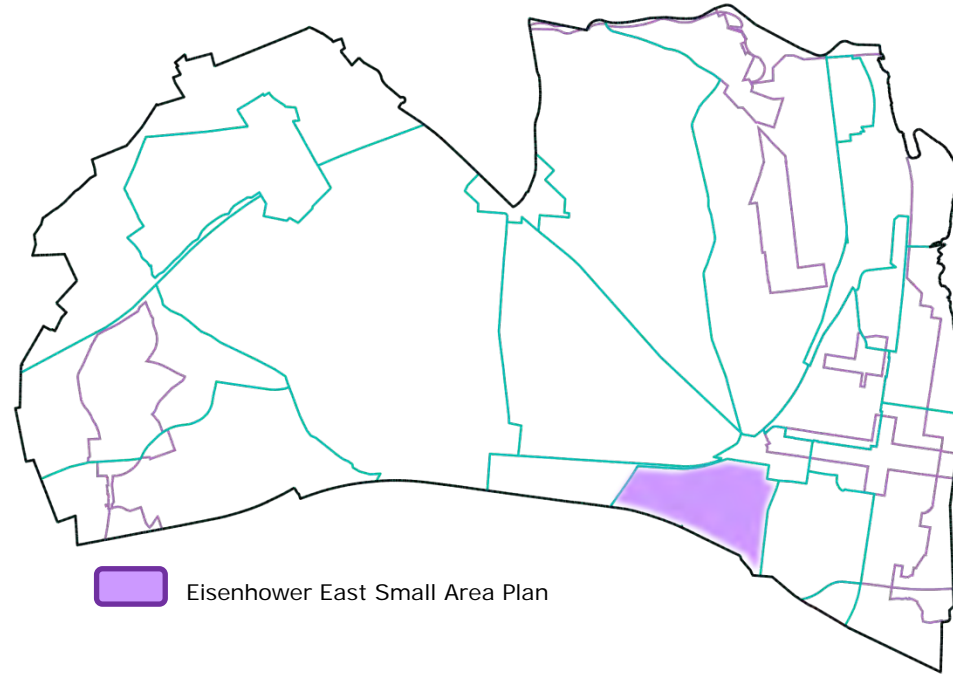


# Distinct and Safe Neighborhoods

## Landmark Mall Re-Planning



# Strengthen Our Local Economy



## Eisenhower East Small Area Plan Update

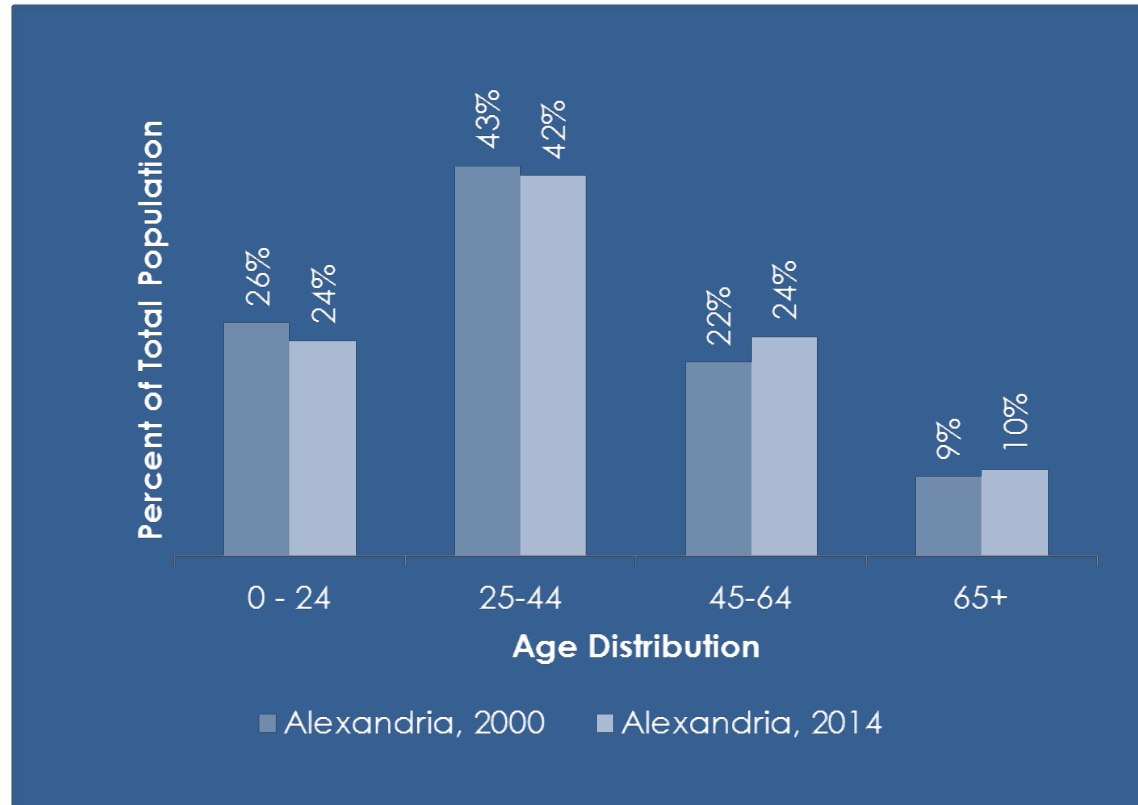
flexibility, given the City's unchanged goal for Eisenhower East to remain one of the City's key economic development engines.



# Demographic Statistics



# Age Distribution



0-24 years: 24%

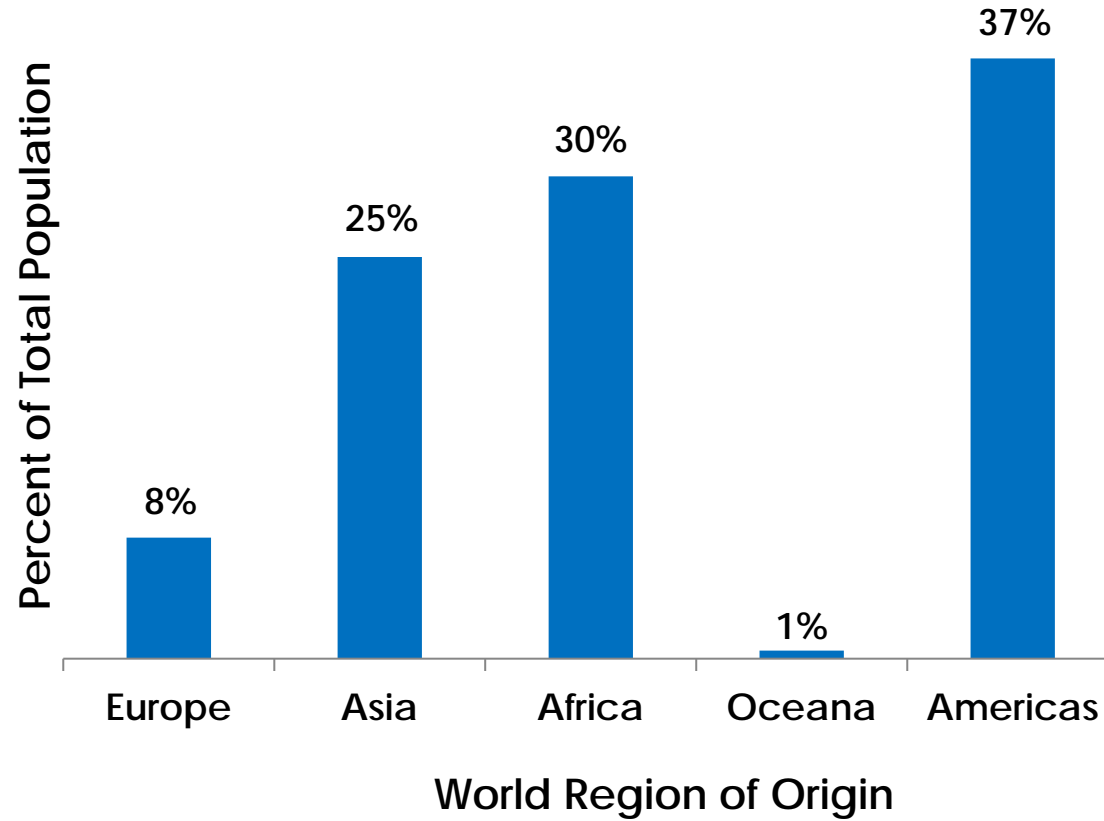
25-44 years: 42%

45-64 years: 24%

65+9 years: 10%



## Foreign Born Region of Origin



Europe: 8%

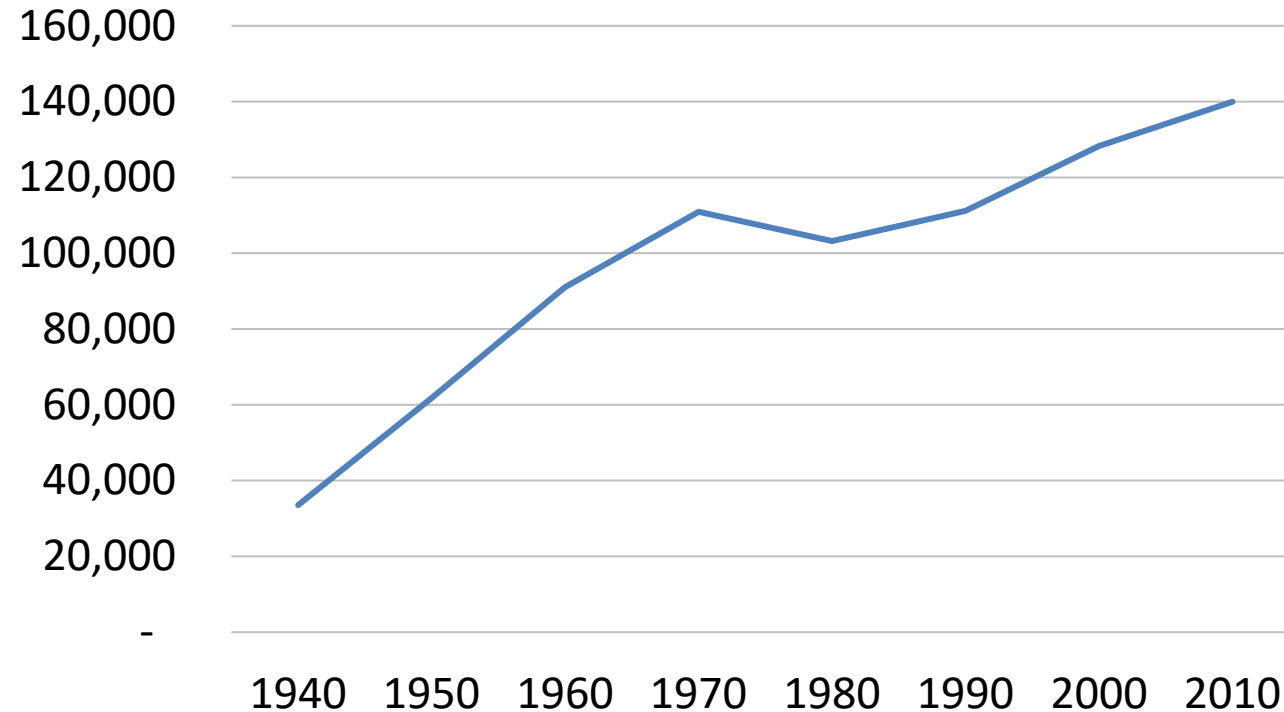
Asia: 25%

Africa: 30%

Oceania: 1%

Americas: 37%

# Demographic Statistics



**Alexandria's population grew rapidly between 1940 and 1970**

**Following a slight population decline between 1970 and 1980, Alexandria's population has grown by an average of 11% every 10 years since 1990**

**Today, Alexandria has around 150,000 residents.**

# HISTORIC PRESERVATION

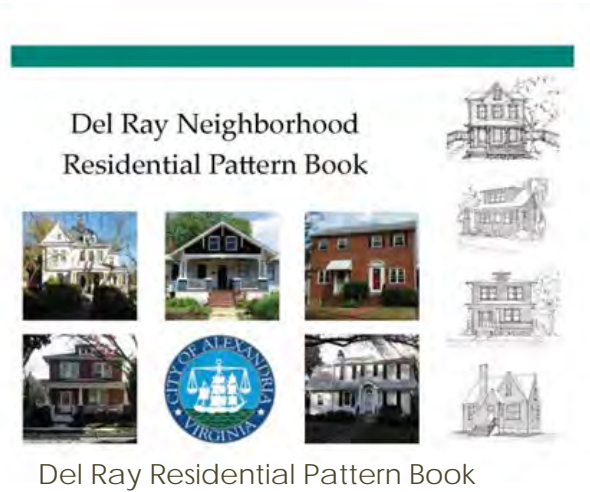


- ❖ Board of Architectural Review
- ❖ 100 year old buildings
- ❖ National Register Districts





# Preserve Historic City and Culture



Volunteer Surveying



Discovery of 18<sup>th</sup> century ship at  
220 S Union Street



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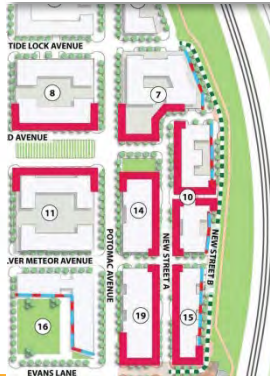
graph LR
    SAP[SAP] --> ZONING[ZONING]
    ZONING --> DSUP[DSUP]
    DSUP --> PERMIT[PERMIT]
    subgraph Land_Uses [Land Uses]
        direction TB
        L1[1. Single-Family Detached]
        L2[2. Single-Family Attached]
        L3[3. Multi-Family]
        L4[4. Commercial]
        L5[5. Industrial]
        L6[6. Public Use]
        L7[7. Other]
    end
    subgraph Development [Development]
        direction TB
        D1[1. Single-Family Detached]
        D2[2. Single-Family Attached]
        D3[3. Multi-Family]
        D4[4. Commercial]
        D5[5. Industrial]
        D6[6. Public Use]
        D7[7. Other]
    end
    subgraph Design [Design]
        direction TB
        Dsg1[1. Single-Family Detached]
        Dsg2[2. Single-Family Attached]
        Dsg3[3. Multi-Family]
        Dsg4[4. Commercial]
        Dsg5[5. Industrial]
        Dsg6[6. Public Use]
        Dsg7[7. Other]
    end
    subgraph Construction [Construction]
        direction TB
        C1[1. Single-Family Detached]
        C2[2. Single-Family Attached]
        C3[3. Multi-Family]
        C4[4. Commercial]
        C5[5. Industrial]
        C6[6. Public Use]
        C7[7. Other]
    end
    Land_Uses --> Development
    Development --> Design
    Design --> Construction
  
```

## Recommendations

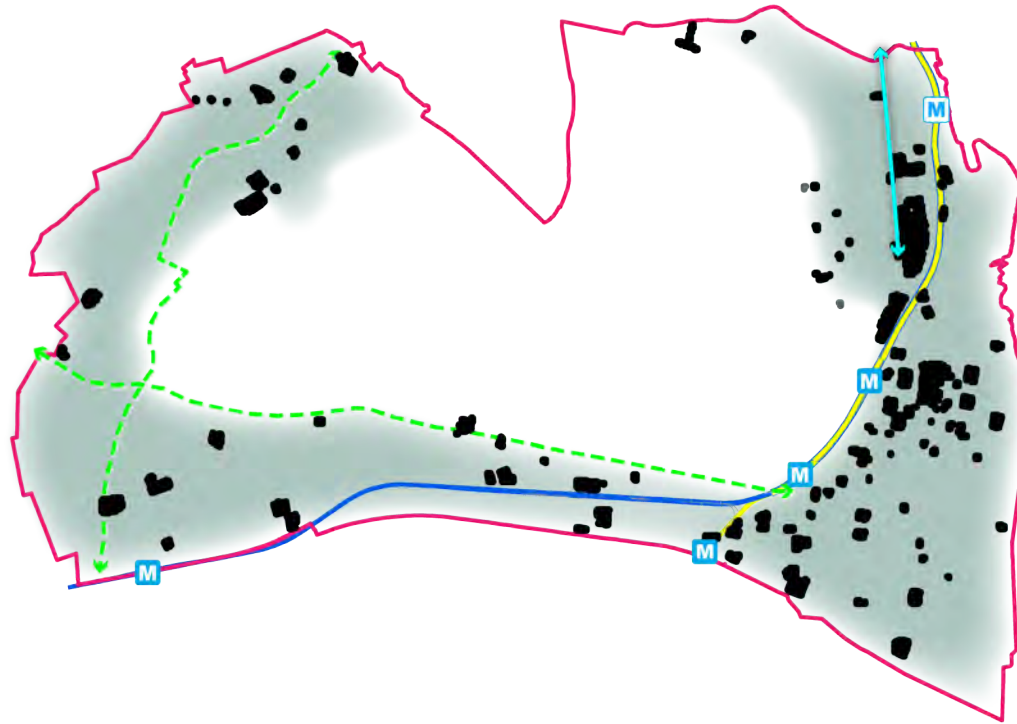
## Phasing

Density,  
Architecture,  
Heights,  
Streetscape

## Construction



# GROWTH CRESCENT



New Development/Major  
Renovation in last 10 years

● In Growth Crescent (89%)

↔ Existing Metroway

○ Outside of Growth Crescent (11%)

↔ Proposed BRT Lines



## American Physical Therapy Association (APTA)

- Second non-residential building in Potomac Yard to be constructed (after NIB) serving as catalyst to support retail
- Office workers will support the Metroway and Potomac Yard Metro station
- High quality streetscaping, contemporary architecture
- Compliance with the City's Green Building Policy



## **Crowne Plaza: Adaptive Re-Use**

41 Townhouses - 7,000SF Art Space - 90-150 Residential Units - Rooftop River Views - Public Art - Pedestrian Greenway to existing Mount Vernon Trail





## 1201 N. Royal Street

- 90 Residential Units
- 5,700SF Art Studios and Art Walk along Old Town North Arts Corridor
- Green Infrastructure
- Bicycle Repair Station



## Sunrise Senior Living

- A 93-unit assisted living and memory care facility, including 27 memory care units and two deeply affordable units
- High-quality building design meets Washington Street Standards
- Streetscape improvements and ground-level open space
- LEED Silver building design, including use of green roofs
- Underground parking and loading is accessed from Princess Street



## Hoffman Blocks 4 & 5

- Three residential buildings with 750 dwelling units
- 211,000 SF Grocery & Retail
- 14,000 SF plaza, rooftop amenities & green space
- Mill Road modifications and multi-use path





## Gateway at King & Beauregard

- Mixed-use project with 352 residential units, 74 of which are affordable housing units, 40-60% area median income
- 94,000 sf office space
- Harris Teeter grocery store
- 40,000 sf retail space
- Includes stop for planned West End Transitway
- Centralized public plaza with public art





## Cameron Park

- Multi-phased project which includes Brandywine Senior Living,
- 116 suites on 6 floors
- Ground floor retail
- 67 townhomes
- Multi-family building with ground floor retail
- Open space area and two plazas along Pickett St

# LAND USE & ZONING

## GUIDE TO 1 & 2-FAMILY CONSTRUCTION IN ALEXANDRIA (OUTSIDE OF HISTORIC DISTRICTS)



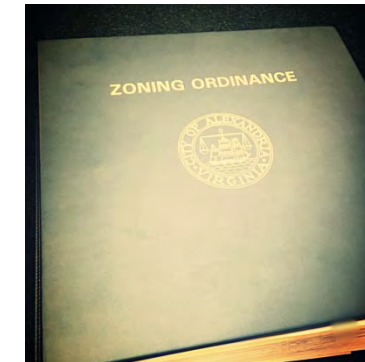
### 1. Chart of Zoning Requirements for Infill Dwellings

Zoning District Requirements	Minimum Mid-Block Lot Area	Minimum Corner Lot Area	Minimum Mid-Block Lot Width	Minimum Corner Lot Width	Minimum Frontage on Straight Street	Lot Frontage at Curved Street	Minimum Side Setback Ratio to Building Height	Minimum Side Setback in Feet	Minimum Side Setback if Semi-Detached Dwelling	Minimum Rear Setback Ratio to Building Height	Minimum Rear Setback in Feet	FAR (See exclusions on other side)	Minimum Vision Clearance Distance at Corner Lots
R-20	20,000	20,000	100	120	75	55	1:2	12	NA	1:1	12	0.25	100
R-12	12,000	12,000	80	95	60	45	1:2	10	NA	1:1	10	0.30	100
R-8	8,000	9,000	65	80	40	40	1:2	8	NA	1:1	8	0.35	100
R-5	5,000	6,500	50	65	40	40	1:3	7	NA	1:1	7	0.45	100
R-2-5	5,000	6,500	50	65	40	40	1:3	7	10	1:1	7	0.45	100

**Front yard setback** requirement is determined by the average front yard setback of the blockface for which construction is occurring. Please see front yard diagram on opposite page.\*  
**Height** is a maximum of 25 feet, but new construction can be taller if the average height of the existing buildings on the block is taller, then new construction can be built up to the average height of the block plus an additional 20 percent. Please see Height diagram on opposite page.\*

\*Please refer to the Zoning Ordinance or discuss with Zoning Staff to determine the reference block for each project.

### 2. Site Plan for a Typical Complying



- ❖ Administers and Enforces the Zoning Ordinance
- ❖ Zoning Enforcement
- ❖ Special Use Permits

# Special Use Permit Projects



## King Street Restaurants

- All restaurants located on King Street require Special use Permits
- Left: Two Nineteen Restaurant rooftop expansion
- Right: Augie's – Expansion and renovation



# Permit Center: City Hall, 4th Floor



## Administrative Permits

- Business License Review
- King Street Dining Permits
- Antennas
- Home Based Businesses



# Community Engagement

## How to Get Involved



City Calendar

- E-news notification system
  - Community Meetings
  - Document Releases
  - AlexEngage
- Facebook and Twitter
- Planning Commission and Council Dockets
- Planning and Zoning Website:  
[alexandriava.gov/Planning](http://alexandriava.gov/Planning)
- *What's Next* Handbook:  
[alexandriava.gov/WhatsNext](http://alexandriava.gov/WhatsNext)

